



MONTAGUE PLANNING BOARD

Town Hall, One Avenue A, Turners Falls, MA 01376 (413) 863-3200 Ext 112

Application for Special Permit & Site Plan Review

Please Do Not Write In Shaded Boxes

Application # SPR #2023-01

Amount of fee &
date pd. ✓

Date filed with
Town Clerk ✓

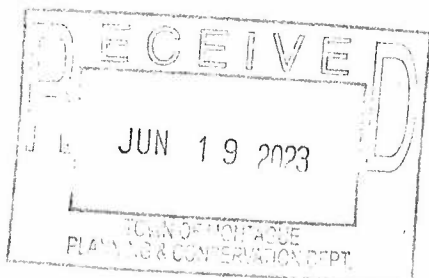
Checked
by Planner ✓

PB Hearing
Date 8/22

PB Decision
Filed _____

- APPLICATION IS HEREBY MADE TO THE TOWN OF MONTAGUE PLANNING BOARD
FOR: Special Permit pursuant to Section(s) _____ of the Montague Zoning Bylaws
Site Plan Review pursuant to Section(s) 9.1.2 a+b of the Montague Zoning Bylaws + 7.2.6
- Applicant ZAHARIA NICHITA
Address 46 RANDALL Wood dr Montague MA 01351
Phone 413 768 7340 Email _____
- Property Owner ZAND K ESTATE inc.
Address 46 RANDALL Wood dr Montague MA
- Applicant is: ☒ Owner _____ Lessee _____ Contract Purchaser _____ Tenant in Possession
- Location of Property 231 MILLERS FALLS Rd, being situated on the _____ side of
_____ Street, and shown on the Assessor's Map(s) # _____
Parcel(s) 31; Franklin County Registry of Deeds Book # _____, Page _____
Zoning District GB
- Description of proposed work and/or use RETAIL SALES AND SERVICES

7. Site Plan attached ☒ Yes ☐ No (see checklist for information required)
If not attached, application may be considered to be incomplete and may not be accepted for filing.



SITE PLAN, PROPOSED DEVELOPMENT, continued

Information	Included	Not included	Not applicable
Location of proposed structures	X		
Dimension of front, side and rear yards	X		
Distances from structures to all property lines	X		
Architectural—Building elevations	X		
Lot coverage—area and percent of impervious surfaces	X		
Parking Areas—Number & size of bays	X		
Parking Areas—Spaces for disabled drivers	X		
Refuse disposal, including location & screening	X		
Loading areas			
Signs—Attached, freestanding and directional			
Lighting—Location and type	X		
Landscaping plan—Sites and size of proposed plantings			
Landscaping plan—Size of plants at maturity			
Landscaping plan—Common & Latin names of species			
Location of designated open space or trails, if any			

Additional information (can be submitted in narrative form)

Information	Included	Not included	Not applicable
Description of use(s) proposed for site			
Hours of Operation			
Description of methods to control noise & vibration			
Description of methods to control waste heat			
Description of methods to prevent air pollution			
Soil type(s)			
Drainage calculations			
Description of drainage plans & infrastructure			
Analysis of traffic impacts			
Passenger vehicles (estimated daily and peak hour trips)			
Trucks/delivery vehicles (estimated daily trips)			
Description of plans to enhance vehicular, pedestrian, and bicyclist safety			
Natural resources on site, impacts and mitigation plans			
Wetlands & water resources			
Rare or endangered plant or animal communities			
Historic resources on site, impacts & mitigation plans			
Analysis of impact to Schools, police, fire (if any)			
Estimated volume of water use			
Estimated volume of wastewater			

Questions: Contact the Town Planner (413) 863-3200 ext 112, planner@montague-ma.gov



MONTAGUE PLANNING BOARD

Town Hall, One Avenue A, Turners Falls, MA 01376 (413) 863-3200 Ext 112

Application Checklist for Site Plan Review

NOTE: Applicants are strongly advised to consult with the Town Planner on any items that are not included or believed not to be applicable. Incomplete information may result in delay or denial of approval.

SITE PLAN, GENERAL INFORMATION:

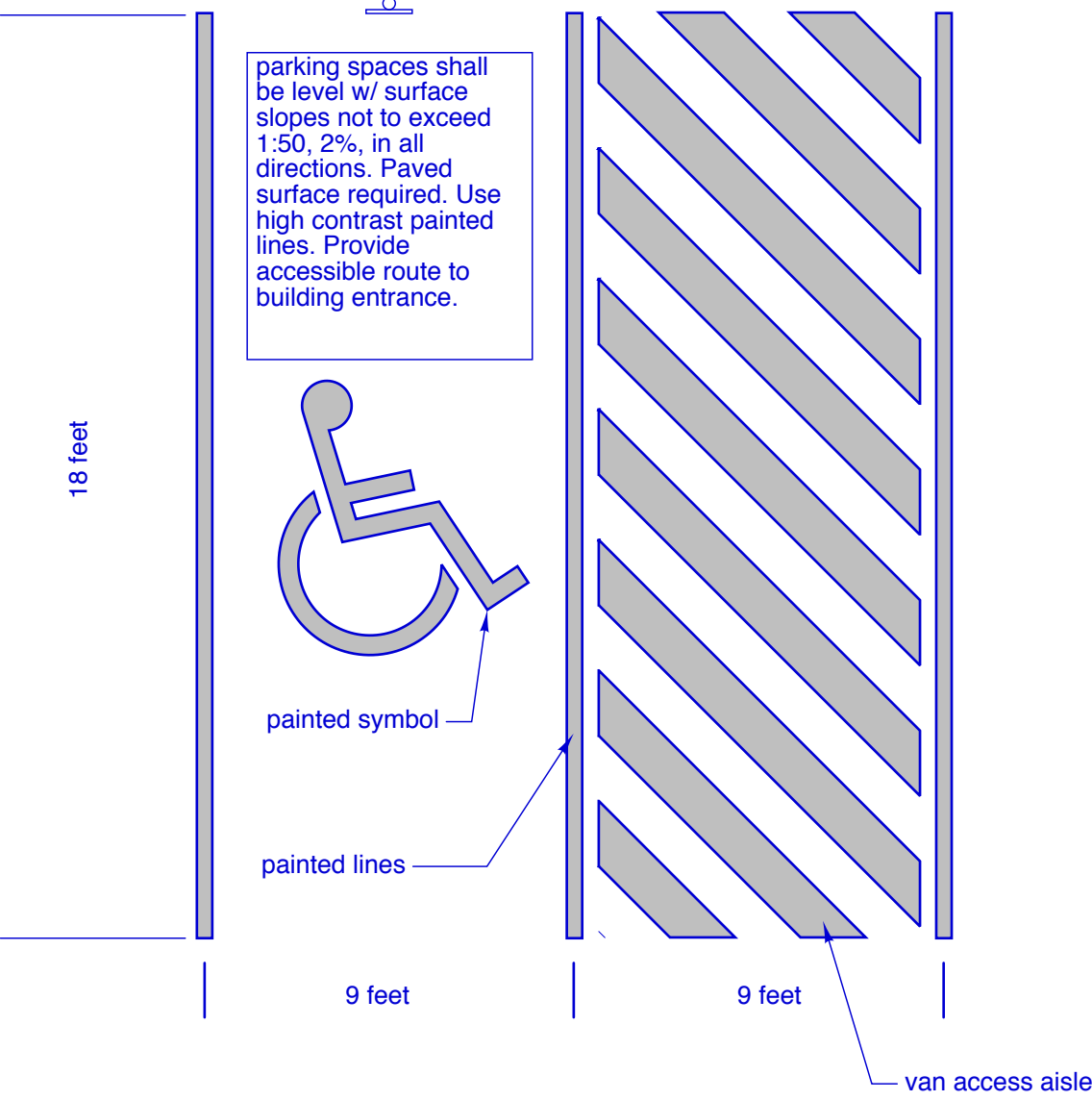
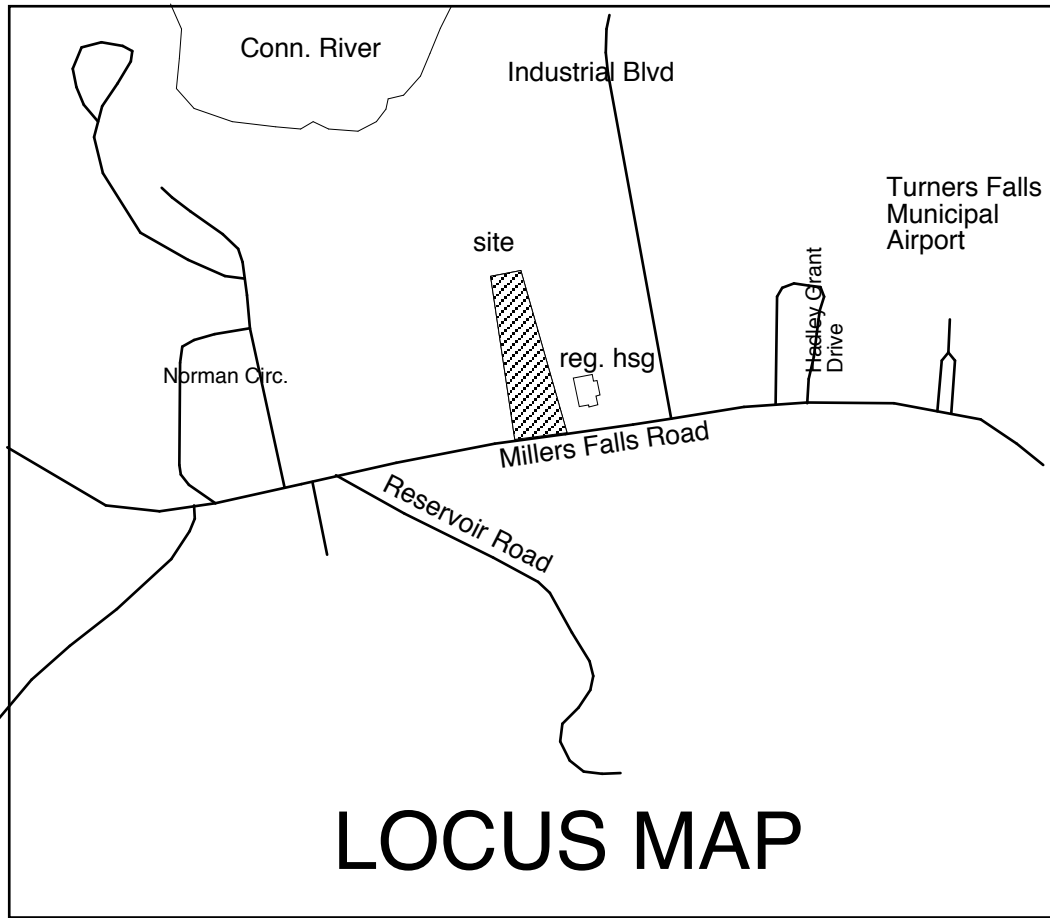
Information	Included	Not included	Not applicable
Name of applicant			
Name of property owner			
Name of development			
Engineer seal			
Architect seal	X		
Land surveyor seal			
Base map source			
Parcel boundaries with dimensions	X		
Scale	X		
Survey accuracy statement			
North arrow	X		
Locus map @ 1"=1000'	NO SCALE		
Date of plans or revisions	07-17-2023	X	

SITE PLAN, EXISTING CONDITIONS

Information	Included	Not included	Not applicable
Current zoning designation	CB	X	
Zoning designation of adjacent properties			
Location of existing structures	X		
Topography/existing grades			
Wetland boundaries and location of waterways			
Floodplain boundaries (FIRM)			
Treeline/vegetation boundaries			

SITE PLAN, PROPOSED DEVELOPMENT

Information	Included	Not included	Not applicable
Proposed street lines and names			
Proposed street profiles and details			
Limits of paving—Roads, driveways, sidewalks, parking	X		
Proposed easements & rights of way			
Proposed grades/grading plan			
Utilities (including all structures and pipe dimensions)			
Electric and gas lines			
Storm and sanitary sewers			
Well locations and water lines			
Telephone & data lines			
Location of fire lanes and hydrants			



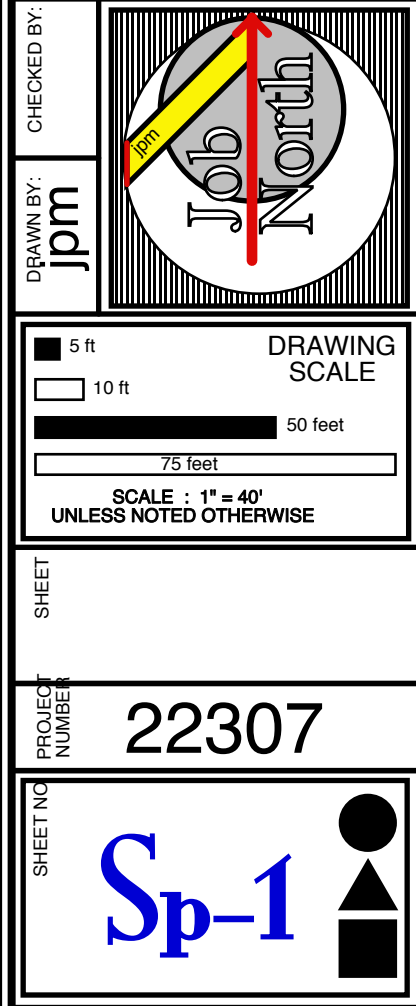
(a) No building need provide a street line setback greater than that of the principal buildings on 3 out of 4 adjoining properties on the same side of the street.

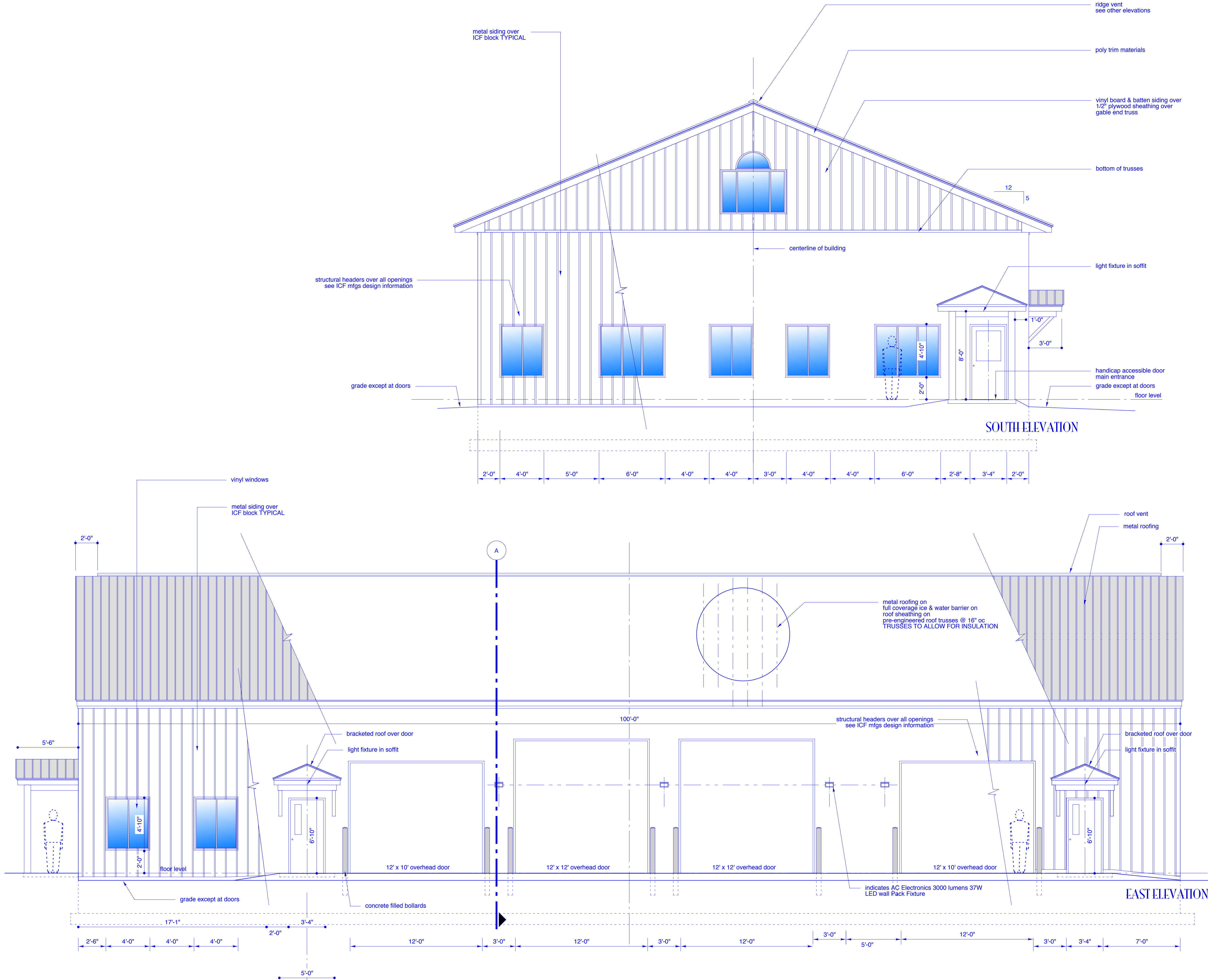
LOT COVERAGE:

The only impervious surface is the building which is 5000 sf. The property is 2.71 acres or 118,047.6 sf.

The percentage of impervious surface is 4.5%.

FACILITY
for
Z&K Estate, Inc
231 Millers Falls Road
Turners Falls, Massachusetts





AUTHORIZED USE OF THIS DOCUMENT
This Document is authorized for use for construction only if it bears the Architect's Seal with his/her signature transposed upon it.

OWNER OR CONTRACTOR SHALL FIELD & PLAN VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND PROJECT SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION OR WORKSTUDIES OF THE BUILDING. THESE DRAWINGS ARE ONLY FOR THE EXCLUSIVE USE OF THE ARCHITECT AS PART OF THE ARCHITECT'S SERVICES.

ALL DRAWINGS ARE SCHEMATIC.

**EXISTING BUILDINGS
EXISTING SITES**

ANY EXISTING DIMENSIONS OR CONDITIONS SHOWN ARE APPROXIMATE AND COMMENSURATE WITH THE INEVITABLE INACCURACIES OF RECORDING THE IN-PLACE CONDITIONS OF AN EXISTING BUILDING/SITE WITH ITS INHERENT HIDDEN CONDITIONS. THESE CUMULATIVE INACCURACIES WILL AFFECT OTHER DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.

For all ICF details and engineering refer to:
BUILDBLOCK FLAT WALL ENGINEERING MANUAL

070523

REVISIONS

1	2	3	4	5	6	7
FINALIZED Permit Set 072023						

JOSEPH P. MATTEI & ASSOCIATES

25 GUY MANNERS RD
SHELburne
MASSACHUSETTS 01370
VOICE: 413.625.2584
Full Service Architectural Firm Serving
MASSACHUSETTS
CONNECTICUT
VERMONT
NEW HAMPSHIRE
MAINE

FACILITY for
Z&K Estate, Inc
231 Millers Falls Road
Turners Falls, Massachusetts

DRAWN BY: jpm

CHECKED BY:

1 ft
2 feet
5 feet

DRAWING SCALE

SCALE : 1/4" = 1' - 0"
UNLESS NOTED OTHERWISE

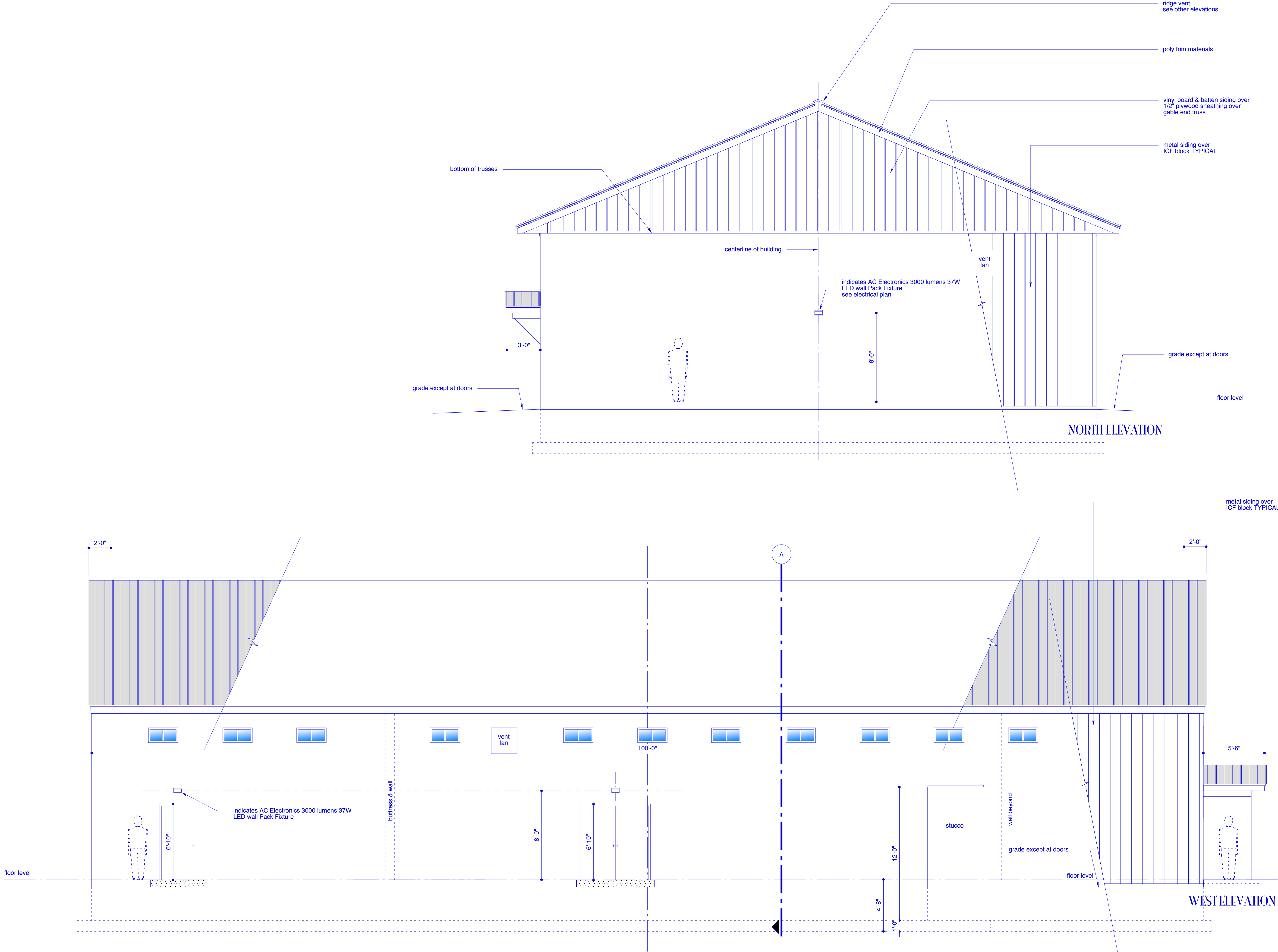
SHEET

PROJECT NUMBER

22307

A-2

ELEVATIONS



AUTHORIZED USE OF THIS DOCUMENT
This Document is authorized for use for construction only if it bears the Architect's Seal with his/her signature transposed upon it.

OWNER OR CONTRACTOR SHALL FIELD & PLAN VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND PROJECT SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION OR WORKSTUDIES OF THE BUILDING. THESE DRAWINGS ARE ONLY FOR THE EXCLUSIVE USE OF THE ARCHITECT AS PART OF THE ARCHITECT'S SERVICES.

ALL DRAWINGS ARE SCHEMATIC.

**EXISTING BUILDINGS
EXISTING SITES**

ANY EXISTING DIMENSIONS OR CONDITIONS SHOWN ARE APPROXIMATE AND COMMENSURATE WITH THE INEVITABLE INACCURACIES OF RECORDING THE IN-PLACE CONDITIONS OF AN EXISTING BUILDING/SITE WITH ITS INHERENT HIDDEN CONDITIONS. THESE CUMULATIVE INACCURACIES WILL AFFECT OTHER DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.

For all ICF details and engineering refer to:
BUILDBLOCK FLAT WALL ENGINEERING MANUAL

070523

1

2

3

4

5

6

7

REVISIONS

FINALIZED Permit Set 072023

The Shelburne Architects

Architecture Promotes Community

JOSEPH P. MATTEI & ASSOCIATES

25 GUY MANNERS RD
SHELburne MASSACHUSETTS 01370
VOICE: 413.625.2584
Full Service Architectural Firm Serving
MASSACHUSETTS
CONNECTICUT
VERMONT
NEW HAMPSHIRE
MAINE

FACILITY for
Z&K Estate, Inc
231 Millers Falls Road
Turners Falls, Massachusetts

DRAWN BY: jpm

CHECKED BY:

1 ft

2 feet

5 feet

SCALE : 1/4" = 1' - 0"

UNLESS NOTED OTHERWISE

SHEET

PROJECT NUMBER

22307

A-3

ROUGH CARPENTRY

Provide wood, nails, bolts, screws, framing anchors and other rough hardware, and other items needed, and perform rough carpentry for the construction shown on the Drawings, as specified herein, and as needed or a complete and proper installation.

QUALITY ASSURANCE:

Use adequate numbers of skilled workers who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this Section.

Codes and Standards: Complying with the pertinent codes and regulations of governmental agencies having jurisdiction.

DELIVERY, STORAGE, AND HANDLING: Deliver the materials to the job site and store, in a safe area, out of the way of traffic, and shored up off the ground surface.

MATERIALS: Provide materials in the quantities needed for the Work shown on the Drawings, and meeting or exceeding the following standards of quality:

Horizontal and vertical framing members: Douglas Fir-Hemlock-Spruce, Table 1, Construction grade.
Vertical framing members: Douglas Fire-Hemlock, Table 1, Standard grade.
Flywood: Sheathing: Structural II, C-C, exterior or standard sheathing with exterior glue.

Rough hardware:

Steel items:

(1) Comply with ASTM A7 or ASTM A36.

(2) Use galvanized at exterior locations.

Machine bolts: Comply with ASTM A307.

Lag bolts: Comply with Fed Spec FF-B-561.

Nails:

Use common except as otherwise noted.

Use galvanized at exterior locations.

Hangers: Simpson, Teco, or equal as approved by the Architect.

Miscellaneous Lumber: Provide wood for support or attachment of other work including cant strips, buck nails, furring, grounds, strapping and similar members. Provide lumber of sizes indicated, worked into shapes shown and as follows:

Moisture content: 15% maximum for lumber items not specified to receive wood preservative treatment.
Grade: Construction grade light framing size lumber of any species or board size lumber as required. Provide construction grade boards.
Wood Treatment: Preservative pressure-treated wood: Pressure treated water-borne preservatives.
Kiln dry to 15% moisture content after treatment, except for wood in contact with ground.
Treat cants, nailers, blocking, stripping and similar items in conjunction with roofing, flashing, vapor barriers and waterproofing.
Treat sills, sleepers, blocking, furring, stripping and similar items in direct contact with masonry and concrete.

OTHER MATERIALS: Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the Approval of the Architect.

EXECUTION: Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

WORKMANSHIP: Produce joints which are tight, true, and well nailed, with members assembled in accordance with the Drawings and with pertinent codes and regulations.

GENERAL FRAMING: In addition to framing operations normal to the fabrication and erection indicated on the Drawings, install wood blocking and backing required for the work of other trades.

BLOCKING AND BRIDGING: Install blocking as required to support items of finish and to cut off concealed draft openings, both vertical and horizontal, between ceiling and floor areas.

INSTALLATION OF SHEATHING

Place sheathing with face grain perpendicular to supports and continuously over at least two supports, except where otherwise shown on the Drawings. Center joints accurately over supports, unless otherwise shown on the Drawings.

FASTENING: Nailing: Use only common wire nail or spikes of the dimension required by the loads being imposed upon the members to be fastened.

For conditions not covered provide penetration into the piece receiving the point of not less than half the length of the nail or spike, provided, however, the 16d nails may be used to connect two pieces of 2" (nominal) thickness. Nail without splitting wood.

WOOD TRUSSES

Work Included: Provide wood trusses where shown on the Drawings, as specified herein, and as needed for a complete and proper installation.

QUALITY ASSURANCE:

Use adequate numbers of skilled workers who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this Section.

SUBMITTALS:

Submit: Materials list of items proposed to be provided under this Section, Manufacturer's specifications and other data needed to prove compliance with the specified requirements.

Shop Drawings showing species, sizes, and stress grades of lumber proposed to be used: pitch, span, camber configuration, and spacing of trusses; connector type, thickness, size, location, and design value; and bearing details.

Manufacturer's recommended installation procedures which, when approved by the Architect, will become the basis for accepting or rejecting actual installation procedures used on the work.

Design: Provide the services of a structural engineer registered to practice in the State of Massachusetts, and design the wood trusses to sustain the loads for the spans, profiles, and arrangements shown on the Drawings and as required by structural engineering standard practices.

Comply with pertinent provisions of: "Timber Construction Standards" of the American Institute of Timber Construction, "Quality Control Manual" of the Truss Plate Institute, The building code having jurisdiction.

Prefabricate in strict accordance with the Shop Drawings and other data approved by the Architect.

Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Architect.

SURFACE CONDITIONS

Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the Work. Do not proceed until unsatisfactory conditions are corrected.

INSTALLATION

Coordinate as required with other trades to assure proper and adequate provision in the work of those trades for interface with the work of this Section.

Install the work of this Section in strict accordance with the original design, the approved Shop Drawings, pertinent requirements of governmental agencies having jurisdiction, and the manufacturer's recommended installation procedures as approved by the Architect, anchoring all components firmly into position for long life under hard use.

Hoist the trusses into position with proper bracing secured at designated lifting points and exercise care to keep out-of-place bending of trusses to a minimum.

Install temporary horizontal and cross bracing to hold trusses plumb and in safe condition until permanent bracing is installed and install permanent bracing and related components prior to application of loads to trusses.

INSTALL ALL METAL CONSTRUCTION CONNECTORS BEFORE COMPLETING ROOF AND SIDEWALL SHEATHING.

Tighten loose connectors.

Restrict construction loads to prevent overstressing to truss members.

Do not cut or remove truss members.

Metal Roofing

Furnish all labor, material, tools, equipment and services for all preformed roofing as indicated, in accord with the requirements of the Metal Roofing Manufacturer. Provide all components required for a complete metal roofing system to include panels, panel clips, trim/flashing, fascias, ridge, closures, sealants, fillers and any other required items.

The roofing system shall be designed by the Manufacturer as a complete system. Members and connections not indicated on the drawings shall be the responsibility of the Contractor. All components of the system shall be supplied or specified by the same manufacturer.

Design load application shall be in accordance with the IBC 2015, amended by Massachusetts.

Accessories and their fasteners shall be capable of resisting the specified design IBC wind uplift forces and shall allow for thermal movement of the roof panel system. Exposed fasteners shall not restrict free movement of the roof panel system resulting from thermal forces.

Fasteners for structural connections shall provide both tensile and shear ultimate strengths of not less than 750 pounds per fastener. Fasteners for accessories shall be the manufacturer's standard. Exposed roof fasteners shall be sealed or have sealed washers on the exterior side of the covering to waterproof the fastener penetration. Washer material shall be compatible with the screw head; have a minimum diameter of 3/8-inch for structural connections; and gasket portion of fasteners or washers shall be neoprene or other equally durable elastomeric material.

Components shall be compatible with the roof panel furnished. Flashing, trim, metal closure strips, caps, gutters, downspouts, roof curbs, and similar metal components shall not be less than the minimum thickness required by the Manufacturer. Exposed metal components shall be finished to match the panels or trim, as furnished. Molded closure strips shall be closed-cell or solid-cell synthetic rubber or neoprene, or polyvinyl chloride pre-molded to match configuration of the covering and shall not absorb or retain water. Thermal spacer blocks and other thermal barriers at concealed clip fasteners shall be as recommended by the Manufacturer

The Contractor shall verify installed work of other trades that such work is complete to a point where the roofing system installation may commence.

Install the roofing system in accordance with manufacturer's instructions and approved installation drawings.

Install the roofing system so that it is weathertight and allows for thermal movements. Locate and space all exposed fasteners in accordance with the Manufacturer's recommendations. Use torque settings to obtain controlled uniform compression for a positive seal without rupturing the neoprene washer.

Protect work against damage until final acceptance. Replace or repair to the satisfaction of the architect (owner), any work that becomes damaged prior to final acceptance. Touch up minor scratches and abrasions per the Manufacturer's recommendations.

Excavation:

Bearing soil & type; Local conditions, minimum bearing requirements 2500 psf.

Excavating, backfilling and grading to the lines, grades and elevations as specified on the drawings and as indicated herein.

Excavate surface materials and dispose of off site, legally.

Excavate subsoil required for building foundations, construction operations and other work as required.

In excavating for footings and foundations, take care not to disturb bottom of excavation.

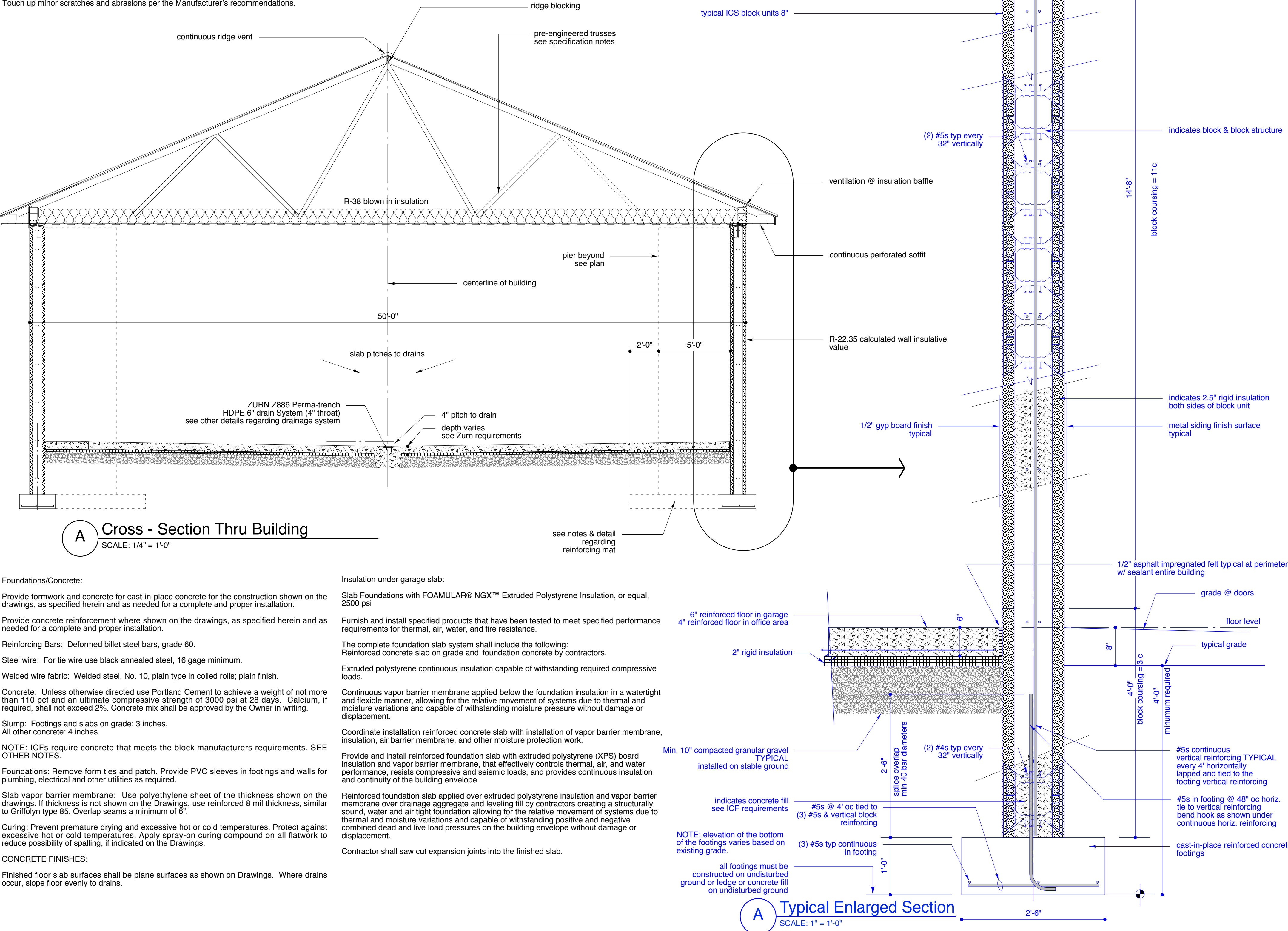
Fill and backfill materials: Provide soil materials free from organic matter and deleterious substances, containing no rocks or lumps over 3 inches in greatest dimension.

Site Work:

Rough grading: Uniformly grade the areas to the lines and elevations on the site plan for rough grade or if no site plan is provided, as directed by the owner.

If no elevations are provided, grade the area to provide drainage away from the structures and to prevent ponding.

Provide finish grading in consultation and approved by the owner.



070523
DATE

REGISTERED ARCHITECT
JOSEPH P. MATHIAS
No. 3967
GREENFIELD, MASS.
REGISTERED IN THE STATE OF MASSACHUSETTS

REVISIONS	
1	FINALIZED Permit Set 072023
2	
3	
4	
5	
6	
7	

© DRAWINGS COPYRIGHT BY ARCHITECT

**JOSEPH
P.
MATTEI
& ASSOCIATES**

25 GUY MANNERS RD
SHELburne
MASSACHUSETTS
01370







VOICE: 413.625.2584

Full Service Architectural Firm Serving

MASSACHUSETTS
CONNECTICUT
VERMONT
NEW HAMPSHIRE
MAINE

--	--

FACILITY
for
Z&K Estate, Inc
231 Millers Falls Road
Turners Falls, Massachusetts

SHEET	 2 feet
	 5 feet
SCALE : 1/4" = 1'-0" UNLESS NOTED OTHERWISE	
PROJECT NUMBER	22307
SHEET NO.	<div style="display: flex; align-items: center; justify-content: center;"> <div style="text-align: center; margin-right: 20px;"> <h1 style="color: red;">A-5</h1> </div> <div style="text-align: center;">     </div> </div>



070523

#	REVISIONS
1	FINALIZED Permit Set 072023
2	
3	
4	
5	
6	
7	

© DRAWINGS COPYRIGHT BY ARCHITECT

**JOSEPH
P.
MATTEI
& ASSOCIATES**

25 GUY MANNERS RD
SHELburne
MASSACHUSETTS
01370

VOICE: 413.625.2584


Full Service Architectural Firm Serving

MASSACHUSETTS
CONNECTICUT
VERMONT
NEW HAMPSHIRE
MAINE


11


CHECKED BY:


DRAWN BY: jpm



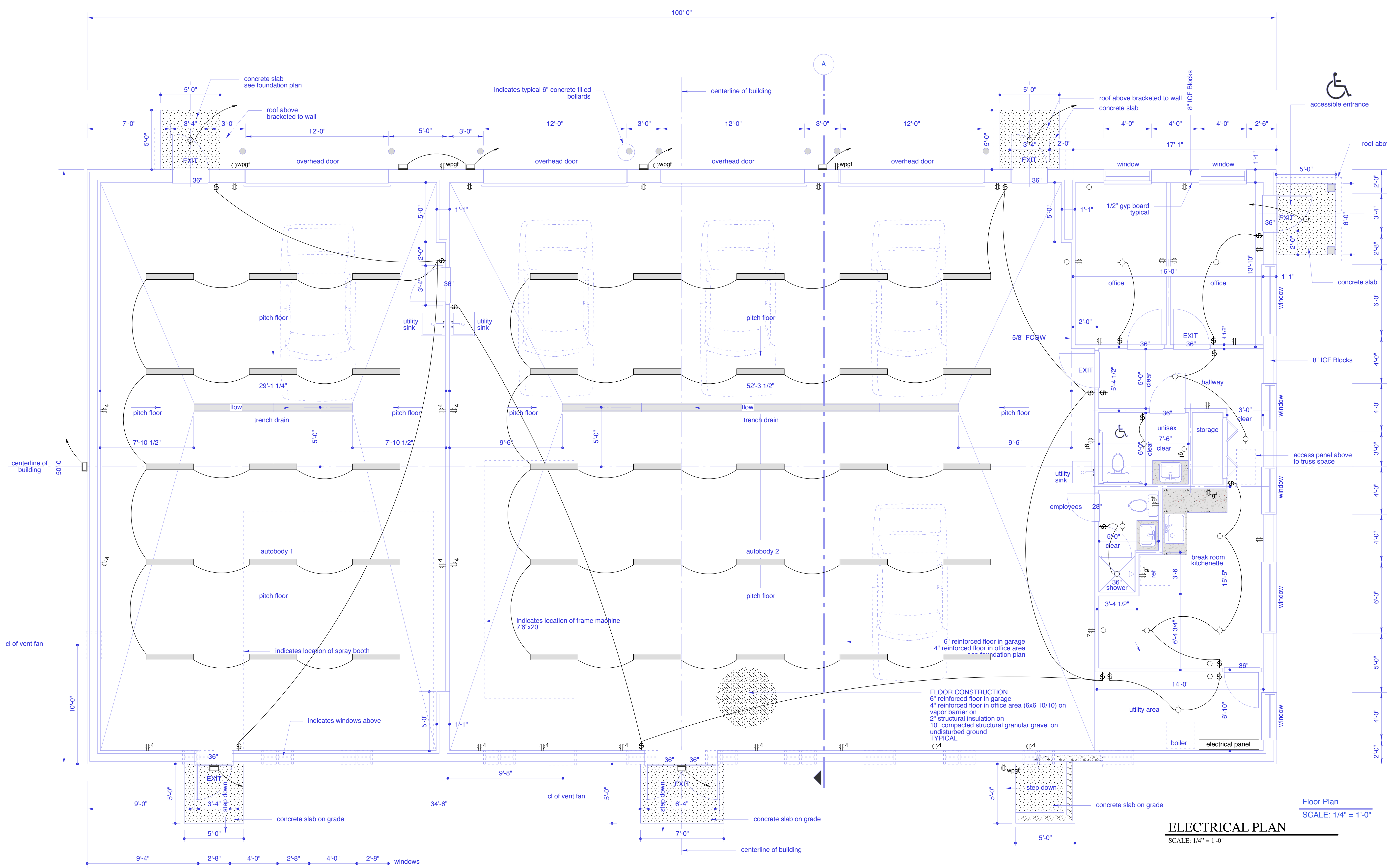
**DRAWING
SCALE**

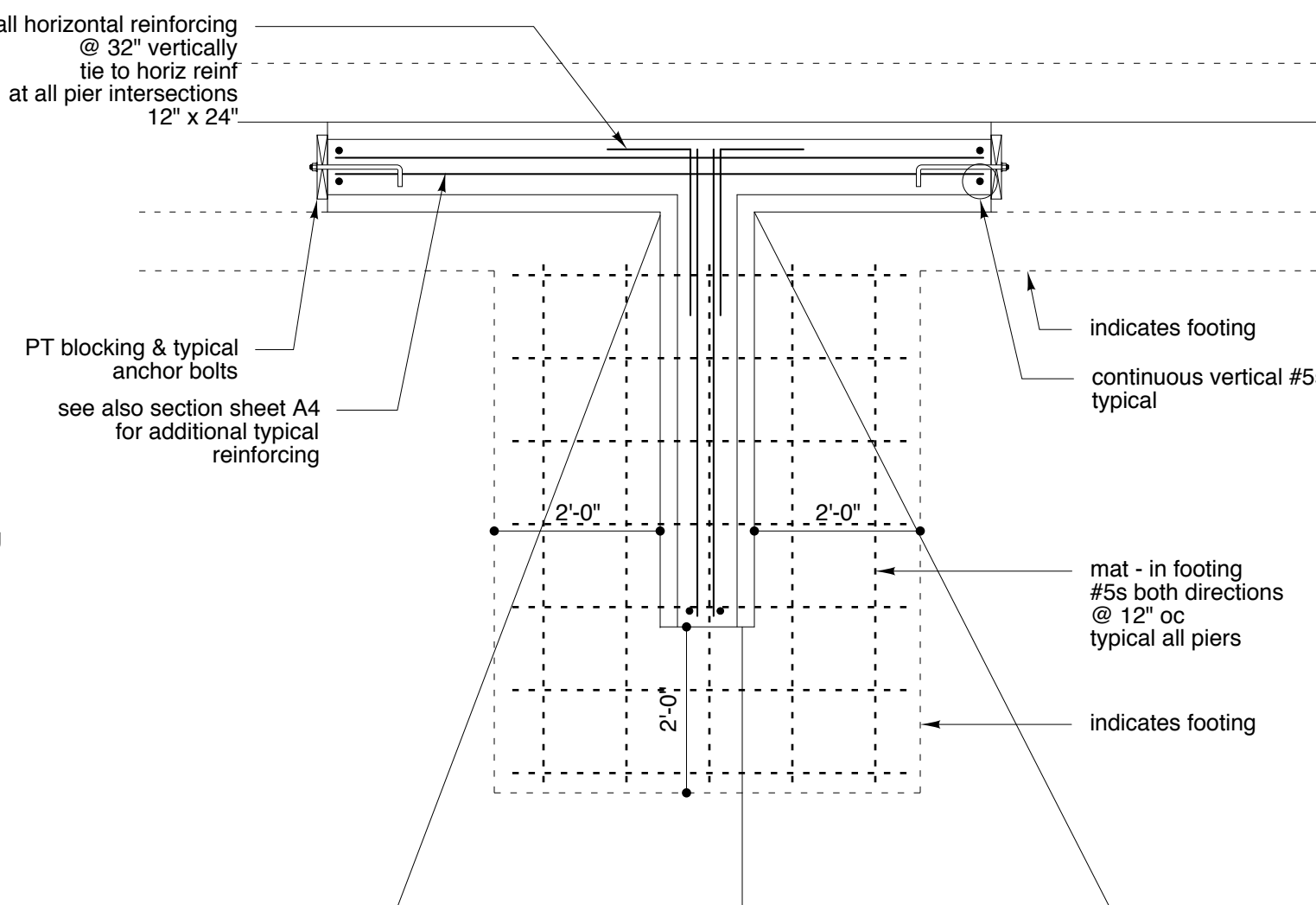
 1 ft

 2 feet

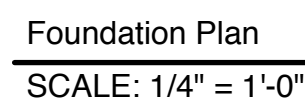
 5 feet

SCALE : 1/4" = 1' - 0"
UNLESS NOTED OTHERWISE





Detail A Footing Plan Reinforcing
SCALE: 1/2" = 1'-0"



070523			
REVISIONS		DRAWINGS COPYRIGHT BY ARCHITECT	
1	FINALIZED Permit Set 072023	2	
3		4	
5		6	
7			
JOSEPH P. MATTEI & ASSOCIATES			
25 GUY MANNERS RD SHEL BURN MASSACHUSETTS 01570			
VOICE: 413.625.2584			
Full Service Architectural Firm Serving			
MASSACHUSETTS CONNECTICUT VERMONT NEW HAMPSHIRE MAINE			
FACILITY for Z&K Estate, Inc 231 Millers Falls Road Turners Falls, Massachusetts			
CHECKED BY:			
DRAWN BY:	jpm		
		DRAWING SCALE	
SCALE : 1/4" = 1' - 0" UNLESS NOTED OTHERWISE			
SHEET			
PROJECT NUMBER	22307		
SHEET NO.	A-7		

070523

#	REVISIONS
1	FINALIZED Permit Set 072023
2	
3	
4	
5	
6	
7	

© DRAWINGS COPYRIGHT BY ARCHITECT

**JOSEPH
P.
MATTEI
& ASSOCIATES**

25 GUY MANNERS RD
SHELburne
MASSACHUSETTS
01370


VOICE: 413.625.2584


Full Service Architectural Firm Serving


MASSACHUSETTS
CONNECTICUT
VERMONT
NEW HAMPSHIRE
MAINE

FACILITY
for
Z&K Estate, Inc
231 Millers Falls Road
Turners Falls, Massachusetts

**DRAWING
SCALE**

 1 ft

 2 feet

 5 feet

SCALE : 1/4" = 1' - 0"
UNLESS NOTED OTHERWISE

SHEET NO.	PROJECT NUMBER	22307
	A-8	

