

# MONTAGUE PLANNING BOARD

Town Hall, One Avenue A, Turners Falls, MA 01376 (413) 863-3200 Ext 112

## Application for Special Permit & Site Plan Review

	ease Do Not Write In Shaded Boxes
A	pplication # SPR # 2023-01
	mount of fee & Date filed with Town Clerk by Planner PB Hoaring Date \$127  PB Hoaring PB Decision Filed Filed
	APPLICATION IS HEREBY MADE TO THE TOWN OF MONTAGUE PLANNING BOARD FOR: Special Permit pursuant to Section(s) of the Montague Zoning Bylaws Site Plan Review pursuant to Section(s) 1.2 a+b of the Montague Zoning Bylaws + 7.2
2.	Applicant CHARIA NICHIII
	Applicant ZHHARIA NICHITA  Address 46 RANDALL Wood of Monstague MA 185
	Phone 413 768 7 34 (Email
3.	Property Owner ZANDK ESTATE INC
	Property Owner ZAND K ESTATE INC.  Address 46 RANDALL Wood of Mandague M/A
4.	Applicant is:OwnerLesseeContract PurchaserTenant in Possession
5.	Location of Property 231 Millers FALLS Ref., being situated on the side of Street, and shown on the Assessor's Map(s) # Parcel(s) 3 / ; Franklin County Registry of Deeds Book #, Page Zoning District 6 / 8
6.	Description of proposed work and/or use RETAIL SALES AND SERVICES
	Site Plan attached Yes No (see checklist for information required)  If not attached, application may be considered to be incomplete and may not be accepted for filing.
	JUN 19 2023

### SITE PLAN, PROPOSED DEVELOPMENT, continued

Information	Included	Not included	Not applicable
Location of proposed structures	×		
Dimension of front, side and rear yards	X		
Distances from structures to all property lines	X		
Architectural—Building elevations	X		
Lot coverage—area and percent of impervious surfaces	X		
Parking Areas—Number & size of bays	×		
Parking Areas—Spaces for disabled drivers	X		
Refuse disposal, including location & screening	×		
Loading areas			
Signs—Attached, freestanding and directional			
Lighting—Location and type	×		
Landscaping plan—Sites and size of proposed plantings			
Landscaping plan—Size of plants at maturity			
Landscaping plan—Common & Latin names of species			
Location of designated open space or trails, if any			

### Additional information (can be submitted in narrative form)

Information	Included	Not included	Not applicable
Description of use(s) proposed for site			
Hours of Operation			
Description of methods to control noise & vibration			
Description of methods to control waste heat			
Description of methods to prevent air pollution			
Soil type(s)			
Drainage calculations			
Description of drainage plans & infrastructure			
Analysis of traffic impacts			
Passenger vehicles (estimated daily and peak hour trips)			
Trucks/delivery vehicles (estimated daily trips)			
Description of plans to enhance vehicular, pedestrian, and bicyclist safety			
Natural resources on site, impacts and mitigation plans			
Wetlands & water resources			
Rare or endangered plant or animal communities			
Historic resources on site, impacts & mitigation plans			
Analysis of impact to Schools, police, fire (if any)			
Estimated volume of water use			
Estimated volume of wastewater			

Questions: Contact the Town Planner (413) 863-3200 ext 112, planner@montague-ma.gov



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### **Application Checklist for Site Plan Review**

NOTE: Applicants are strongly advised to consult with the Town Planner on any items that are not included or believed not to be applicable. Incomplete information may result in delay or denial of approval.

### SITE PLAN, GENERAL INFORMATION:

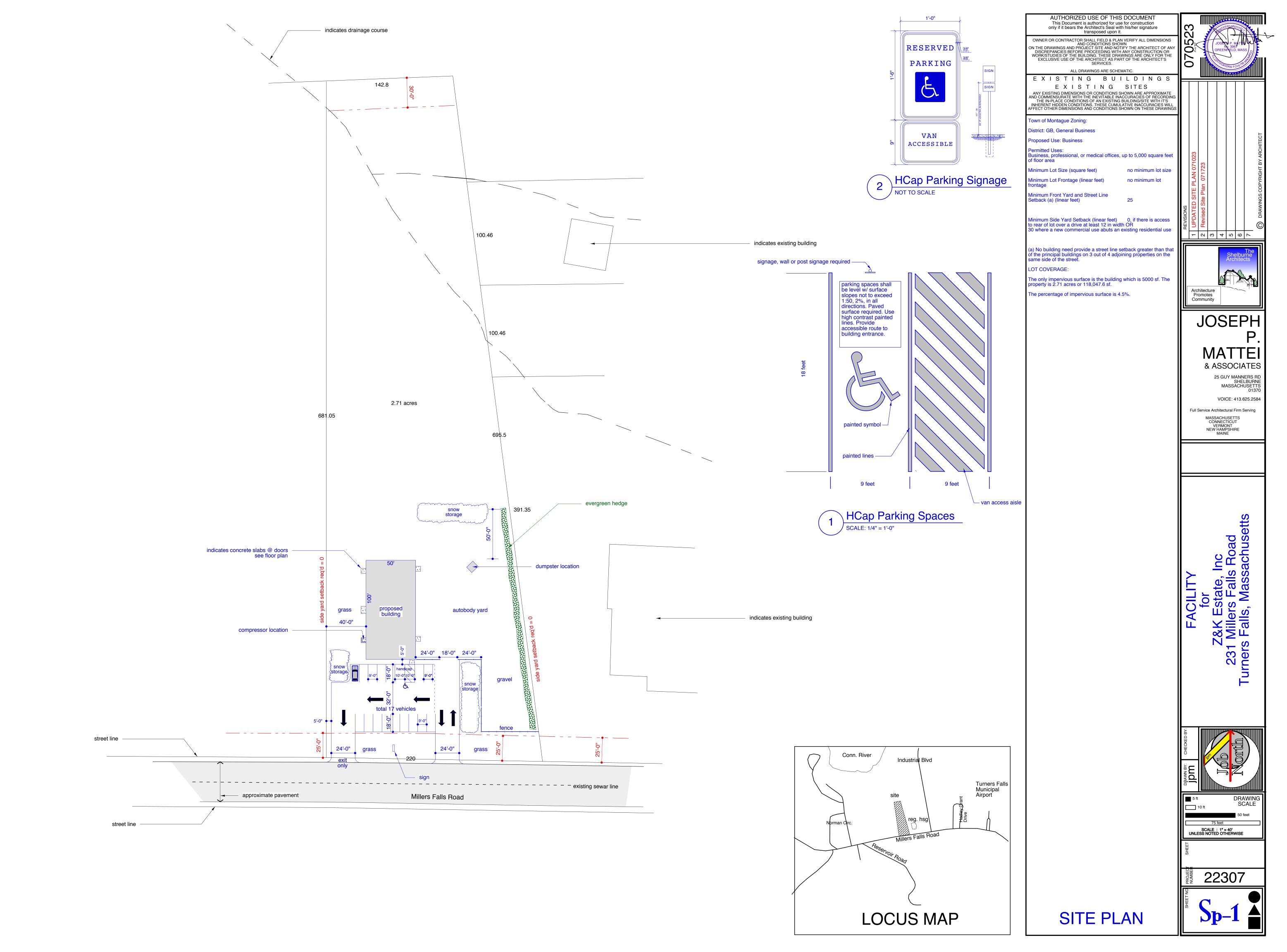
Information	Included	Not included	Not applicable
Name of applicant			
Name of property owner			
Name of development			
Engineer seal			
Architect seal	×		
Land surveyor seal			
Base map source			
Parcel boundaries with dimensions	×		
Scale	×		
Survey accuracy statement			
North arrow	×.		
Locus map @ 12=10002 NO SCALE			
Date of plans or revisions $07.17-2023$	×		

### SITE PLAN, EXISTING CONDITIONS

Information	Included	Not included	Not applicable
Current zoning designation GB	×		
Zoning designation of adjacent properties			
Location of existing structures	×		
Topography/existing grades			
Wetland boundaries and location of waterways			
Floodplain boundaries (FIRM)			
Treeline/vegetation boundaries			

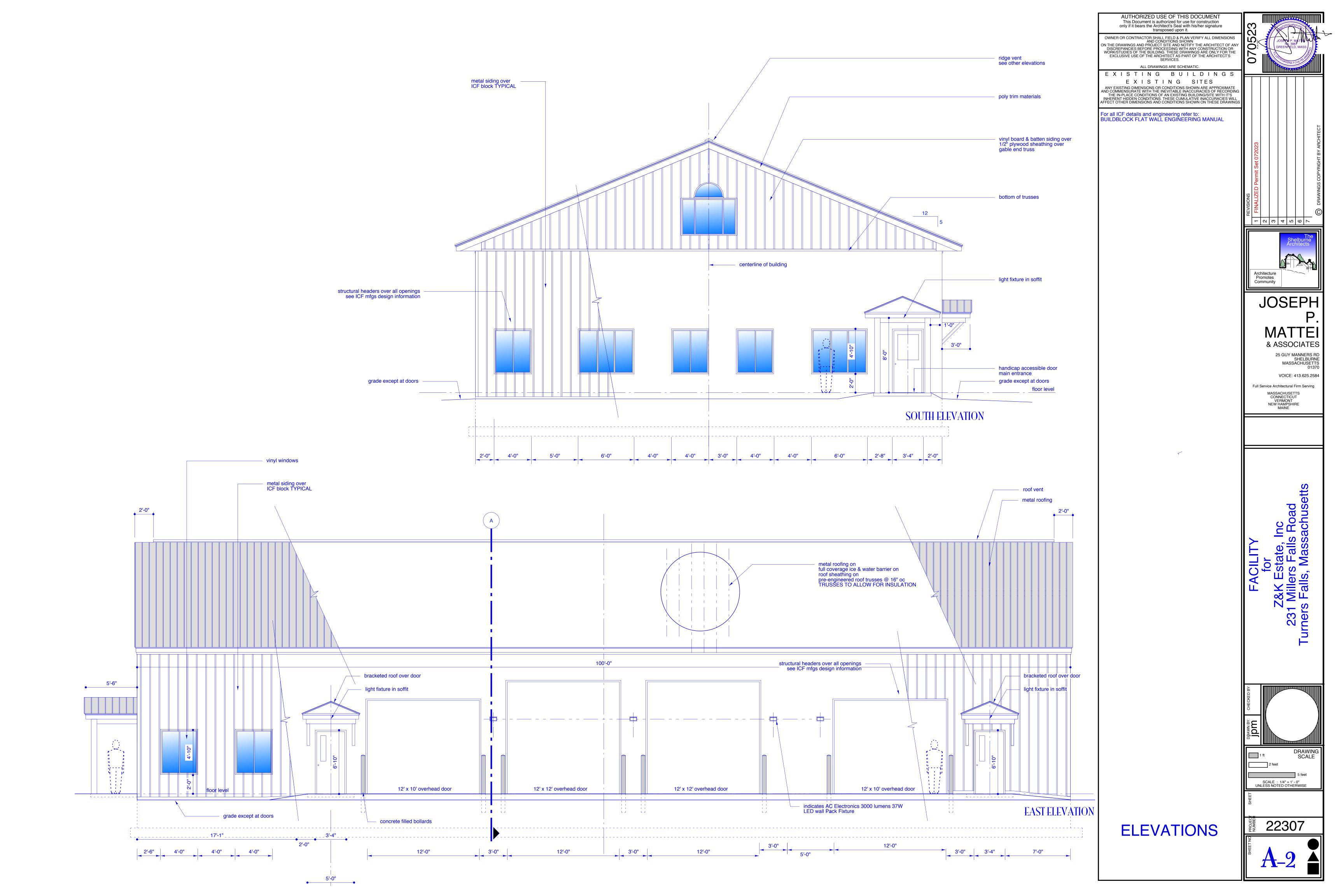
### SITE PLAN, PROPOSED DEVELOPMENT

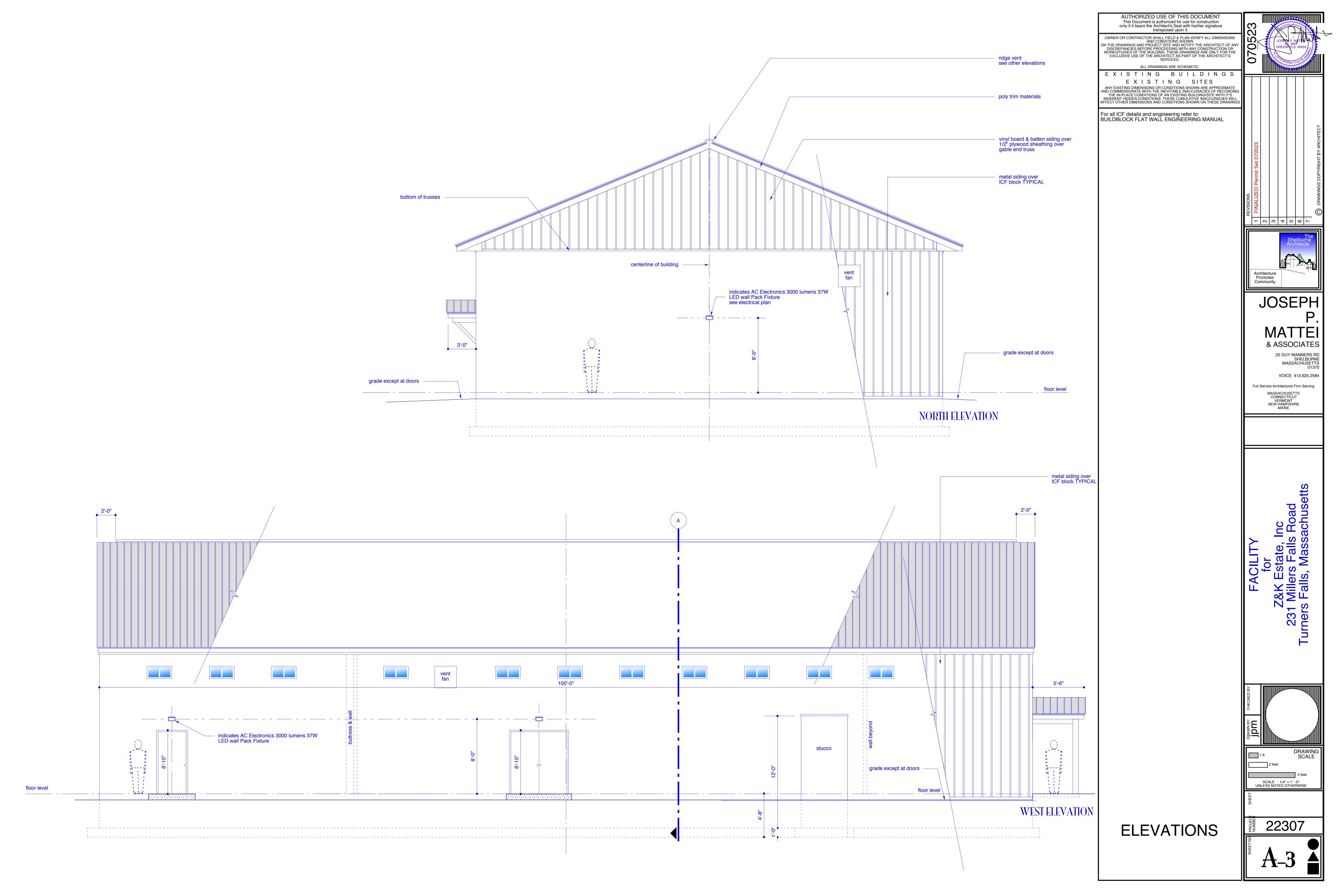
Information	Included	Not included	Not applicable
Proposed street lines and names			
Proposed street profiles and details			
Limits of paving-Roads, driveways, sidewalks, parking	×		
Proposed easements & rights of way			
Proposed grades/grading plan		I I	
Utilities (including all structures and pipe dimensions)			
Electric and gas lines			
Storm and sanitary sewers			
Well locations and water lines			
Telephone & data lines			
Location of fire lanes and hydrants			



**GENERAL NOTES:** It is the responsibility of the Contractor to field verify all dimensions and conditions on Interior finish materials: Comply with the following - International Building Code as Contractors shall supervise and direct their work, and shall be responsible for AUTHORIZED USE OF THIS DOCUMENT the Drawings. The Contractor shall coordinate the installation of, and construction of, amended by Massachusetts. This Document is authorized for use for construction Contractors shall carry Workmen's Compensation Insurance for every person construction ways and means, sequence and coordination. all materials and equipment based on field verifications of the existing conditions. Any Section 803 limits the allowable fire performance and smoke development of interior only if it bears the Architect's Seal with his/her signature employed by them in the premises, and shall maintain such insurance in full force transposed upon it. discrepancies from the Drawings shall be reported to the Architect within 24 hours of wall and ceiling finish materials based on occupancy classification. All work shall be performed in the best and most professional manner by mechanics during the entire time of their participation in this project. their discovery. Claims against the Owner for work arising from lack of Contractor OWNER OR CONTRACTOR SHALL FIELD & PLAN VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN skilled in their respective trades, and all materials and equipment installed as part of Section 804 limits the allowable fire performance of interior floor finish materials based coordination shall not be accepted. AND CONDITIONS SHOWN

ON THE DRAWINGS AND PROJECT SITE AND NOTIFY THE ARCHITECT OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION OR
WORK/STUDIES OF THE BUILDING. THESE DRAWINGS ARE ONLY FOR THE
EXCLUSIVE USE OF THE ARCHITECT AS PART OF THE ARCHITECT'S
SERVICES. the work shall be new. Work not meeting these requirements will be considered Contractors shall carry comprehensive General and Automotive Liability Insurance and on occupancy classification. Property Damage Insurance in such amounts as are agreed to, in writing, by the The Contractor is alerted to the fact that certain specification items may be found on Owners, prior to Contract. Decorative materials and trim shall be restricted by combustibility, fire performance or the drawings and/or in the specifications. Contractors shall give notices and shall comply with laws, ordinance, regulations, flame propagation performance criteria in accordance with Section 806, and, lawlful orders and requirements over this work, or over matters of health, safety and Contractors shall guarantee all materials, equipment and workmanship furnished by ALL DRAWINGS ARE SCHEMATIC Reference to materials by name: Specific reference to any article, device, product, them to be free from defect, and shall agree to replace at their expense all defective property protection, and shall promptly inform the Architect if these drawings, notes material, fixture, form, or type of construction, etc., by name, make, or catalog number Combustible Decorative Materials. In all occupancies, curtains, draperies, fabric EXISTING BUILDINGS and specifications are at variance with such compliance. parts that may be found, at any time within one (1) year after the date of delivery or shall be interpreted as establishing a standard of quality and shall not be construed as hangings and similar combustible decorative materials suspended from walls or Certificate of Occupancy to the Owner, or after the date of final acceptance of the work EXISTING SITES limiting the competition, and the Contractor in such cases may, at his option, use any ceilings shall comply with 527 CMR: Board of Fire Prevention Regulations. by the Owner, whichever comes first. At job completion, the Contractor shall submit Nothing contained in these drawings, notes and specifications shall create any ANY EXISTING DIMENSIONS OR CONDITIONS SHOWN ARE APPROXIMATE AND COMMENSURATE WITH THE INEVITABLE INACCURACIES OF RECORDING THE IN-PLACE CONDITIONS OF AN EXISTING BUILDING/SITE WITH IT'S INHERENT HIDDEN CONDITIONS. THESE CUMULATIVE INACCURACIES WILL AFFECT OTHER DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWING article, device, product, material, fixture, form or type of construction which, in the contractual relationship between the Owner or the Architect and any subcontractors. Certification of Guarantee to the Owner. Every effort has been made to insure demolition shown does not alter or threaten judgement of the Architect, is equal to that named, and further provided, approval of load? bearing characteristics of existing structural elements. Should unforeseen any manufacturer's product not specifically mentioned is obtained prior to the close of By entering into a contract with the Owner, Contractors represent that they have visited Contractors shall pay all sales taxes for materials and equipment supplied by them, structural conditions develop during. demolition, the Contractor shall notify the and shall secure and pay for permits and fees, licenses and inspections, necessary for the site, familiarized themselves with the conditions under which work is to be Architect prior to continuing work. the proper execution of and completion of their work. performed and that they have examined these drawings, notes, and specifications and All materials used in the Contract shall be new and first-class in every respect, without have found them adequate for proper completion of their work. defects, and designed to function properly in that portion of the work for which they Miscellaneous penetrations from equipment hangers, bolts, fasteners, etc., shall be Contractors shall indemnify and hold harmless the Owner, and the Architect, and their patched to match existing surfaces. agents or employees against all claims or suits, damages, losses and expenses, Contractors shall be responsible for verifying field measurements before beginning including attorney's fees, arising or resulting from the contractor's performance of the work and before ordering materials and prefabricated items. Any necessary The Contractor shall employ only competent and experienced personnel at a regular Location of ceiling, floor & wall penetrations, if shown, are approximate. Sizes of The Massachusetts State Building Code work, or the failure of the contractor's work to conform to these Drawings and adjustments due to discrepancies between field measurements or between field working schedule in harmony with other tradespeople on the job. He shall also penetrations are not indicated. It is the responsibility of the contractor to survey the job 780 CMR (2015 IBC as amended by Massachusetts) Specifications and to their design intent, provided it has been caused in whole or in measurements and drawings shall be made in accordance with the decision of the exercise care and supervision of his employees in regard to the proper, expeditious to determine the extent of existing surfaces to be patched. part by negligent acts, errors or omissions of the contractor, subcontractor, anyone laying out of the work, and the maintenance of existing materials, textures and finishes. One story building w/ slab on grade foundation directly or indirectly employed by them or anyone for whose acts they may be liable. All demolition work that remains exposed to view must be patched to match existing PATCHING NOT INDICATED TO BE EXPOSED TO VIEW MAY BE UTILITARIAN adjacent materials and finishes so as to disguise patches and blend them into new AND SHALL MEET THE REQUIREMENTS OF THE BUILDING CODE FOR Contractors shall provide and furnish all labor, materials, equipment tools, construction 221 Millers Falls Road, Turners Falls, MA Contractors shall be responsible for initiating, maintaining, and supervising all safety materials and machinery, utilities transport, facilities and services necessary for the and existing work. In all cases, patching shall be completed to the satisfaction of the CLOSURE AND FIRESTOPPING. procedures related to their work, and shall provide all reasonable protection for proper execution and completion of their work. Architect, including all painting and finish surface treatment. Project consists of a new building persons participating in or affected by their work; the work itself, together with all WORK AND MATERIAL BY THE OWNER materials and equipment to be used in the work; and all other public or private property The Owner reserves the right to perform work related to the project with his own forces. Construction Type: IVB adjacent to or otherwise affected by their work. illding Use: Automotive Sales and Service. The Owner will provide the coordination of the work of his own forces and of each Group S-1, moderate hazard, motor vehicle repair garage separate contractor with the the Work of the Contractor, who shall cooperate therewith. Group B, business Size of this Building: 100'-0" 5000 sf gross - 0 8 4 G 0 V Fire Protection None, not required see foundation plan indicates typical 6" concrete filled centerline of building Architecture roof above bracketed to wall Promotes accessible entrance roof above bracketed to wall 3'-0" 7'-0" 12'-0" 3'-0" 3'-4" | 3'-0" 12'-0" 12'-0" 4'-0" 4'-0" **JOSEPH** 5'-0" 3'-0" THESE DRAWINGS CONSIST OF WORK PROVIDED BY THE BUILDING OWNER TO CONSTRUCT A NEW 17'-1" 3'-4" < BUILDING. Dimensions are to both centerline of walls and face of walls EXIT EXIT overhead door overhead door overhead door overhead door window window see other information. 5'-0" Install all wood blocking secured to the stude based on the & ASSOCIATES load of the elements to be wall hung or secured. 25 GUY MANNERS RE All Mechanical - Electrical Work is provided under separate license and separate permits from the Architectural 1/2" gyp board MASSACHUSETTS Services provided by this set of Drawings. EXIT ( -----(22:12:11:11:1) VOICE: 413.625.2584 Drawings that are prepared by this office (or others) and ( ---are not stamped and signed by a registered professiona Full Service Architectural Firm Serving working for this office, are not valid and are not a part of the architectural services. Nothing in these documents relieve the contractor of its VERMONT NEW HAMPSHIRE MAINE responsibility regarding the provisions of 780 CMR 107. concrete slab pitch floor or all ICF details and engineering refer to BUILDBLOCK FLAT WALL ENGINEERING MANUAL EXIT 5/8" FCGW - 8" ICF Blocks LIST OF DRAWINGS: 29'-1 1/4" 52'-3 1/2" A1 FLOOR PLAN `---pitch floor pitch floor pitch floor pitch floor A2 ELEVATIONS trench drain trench drain A3 ELEVATIONS 7'-10 1/2" 7'-10 1/2" 9'-6" 9'-6" clear A4 SECTIONS access panel above \_\_\_\_\_\_ to truss space centerline of building **A5 LIFE SAFETY** A6 ELECTRICAL A7 FOUNDATION PLAN 5'-0" \ A8 TRENCH DRAIN/PLUMBING autobody 1 autobody 2 kitchenette shower pitch floor pitch floor 3'-4 1/2" indicates location of frame machine 7'6"x20' 6" reinforced floor in garage
4" reinforced floor in office area
see foundation plan cl of vent fan indicates location of spray booth 16'x24' 14'-0" FLOOR CONSTRUCTION 6" reinforced floor in garage 4" reinforced floor in office area (6x6 10/10) on utility area vapor barrier on 2" structural insulation on indicates windows above 10" compacted structural granular gravel on undisturbed ground TYPICAL SCALE : 1/4" = 1' - 0" UNLESS NOTED OTHERWIS boiler 9'-8" step down 22307 cl of vent fan FLOOR PLAN 9'-0" 34'-6" 6'-4" concrete slab on grade SCALE: 1/4" = 1'-0" concrete slab on grade concrete slab on grade 7'-0" 5'-0" **DETAILS** centerline of building 2'-8" 4'-0" 2'-8" 4'-0" 2'-8" windows





Provide wood, nails, bolts, screws, framing anchors and other rough hardware, and other items needed, and perform rough carpentry for the construction shown on the Drawings, as specified herein, and as needed or a complete and proper installation.

Use adequate numbers of skilled workers who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work

Codes and Standards: Complying with the pertinent codes and regulations of governmental agencies having jurisdiction.

DELIVERY, STORAGE, AND HANDLING: Deliver the materials to the job site and store, in a safe area, out of the way of traffic, and shored up off the ground surface.

MATERIALS: Provide materials in the quantities needed for the Work shown on the Drawings, and meeting or exceeding the following standards of quality:

Horizontal and vertical framing members: Douglas Fir-Hemlock-Spruce, Table 1, Construction grade. Vertical framing members: Douglas Fire-Hemlock, Table 1, Standard grade.

Plywood: Sheathing: Structural II, C-C, exterior or standard sheathing with exterior

Rough hardware:

Steel items: (1) Comply with ASTM A7 or ASTM A36. (2) Use galvanized at exterior locations. Machine bolts: Comply with ASTM A307. Lag bolts: Comply with Fed Spec FF-B-561

Use common except as otherwise noted.

Use galvanized at exterior locations. Hangers: Simpson, Teco, or equal as approved by the Architect. Miscellaneous Lumber: Provide wood for support or attachment of other work

including cant strips, buck nails, furring, grounds, strapping and similar members. Provide lumber of sizes indicated, worked into shapes shown and as follows: Moisture content: 15% maximum for lumber items not specified to receive wood

Grade: Construction grade light framing size lumber of any species or board size lumber as required. Provide construction grade boards. Wood Treatment: Preservative pressure-treated wood: Pressure treated water-borne

Kiln dry to 15% moisture content after treatment, except for wood in contact with around

Treat cants, nailers, blocking, stripping and similar items in conjunction with roofing, flashing, vapor barriers and waterproofing Treat sills, sleepers, blocking, furring, stripping and similar items in direct contract with masonry and concrete.

OTHER MATERIALS: Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the Approval of the Architect.

EXECUTION: Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

WORKMANSHIP: Produce joints which are tight, true, and well nailed, with members assembled in accordance with the Drawings and with pertinent codes and

GENERAL FRAMING: In addition to framing operations normal to the fabrication and erection indicated on the Drawings, install wood blocking and backing required for

BLOCKING AND BRIDGING: Install blocking as required to support items of finish and to cut off concealed draft openings, both vertical and horizontal, between ceiling

INSTALLATION OF SHEATHING

Place sheathing with face grain perpendicular to supports and continuously over at least two supports, except where otherwise shown on the Drawings. Center joints accurately over supports, unless otherwise shown on the Drawings.

FASTENING: Nailing: Use only common wire nail or spikes of the dimension required by the loads being imposed upon the members to be fastened.

For conditions not covered provide penetration into the piece receiving the point of not less than half the length of the nail or spike, provided, however, the 16d nails may be used to connect two pieces of 2" (nominal) thickness. Nail without splitting wood.

**WOOD TRUSSES** 

Work Included: Provide wood trusses where shown on the Drawings, as specified herein, and as needed for a complete and proper installation.

QUALITY ASSURANCE:

Use adequate numbers of skilled workers who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this Section.

Submit: Materials list of items proposed to be provided under this Section, Manufacturer's specifications and other data needed to prove compliance with the specified requirements.

Shop Drawings showing species, sizes, and stress grades of lumber proposed to be used: pitch, span, camber configuration, and spacing of trusses; connector type, thickness, size, location, and design value; and bearing details.

Manufacturer's recommended installation procedures which, when approved by the Architect, will become the basis for accepting or rejecting actual installation procedures used on the

Design: Provide the services of a structural engineer registered to practice in the State of Massachusetts, and design the wood trusses to sustain the loads for the spans, profiles, and arrangements shown on the Drawings and as required by structural engineering standard

Comply with pertinent provisions of: "Timber Construction Standards" of the American Institute of Timber Construction, "Quality Control Manual" of the Truss Plate Institute, The building code having jurisdiction.

Prefabricate in strict accordance with the Shop Drawings and other data approved by the

Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Architect. SURFACE CONDITIONS

Examine the areas and conditions under which work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the Work. Do not proceed until unsatisfactory conditions are corrected.

INSTALLATION

Coordinate as required with other trades to assure proper and adequate provision in the work of those trades for interface with the work of this Section.

Install the work of this Section in strict accordance with the original design, the approved Shop Drawings, pertinent requirements of governmental agencies having jurisdiction, and the manufacturer's recommended installation procedures as approved by the Architect, anchoring all components firmly into position for long life under hard use.

Hoist the trusses into position with proper bracing secured at designated lifting points and exercise care to keep out-of-place bending of trusses to a minimum.

Install temporary horizontal and cross bracing to hold trusses plumb and in safe condition until permanent bracing is installed and install permanent bracing and related components prior to application of loads to trusses.

INSTALL ALL METAL CONSTRUCTION CONNECTORS BEFORE COMPLETING ROOF AND SIDEWALL SHEATHING.

Tighten loose connectors.

Do not cut or remove truss members.

Restrict construction loads to prevent overstressing to truss members

Metal Roofing

Furnish all labor, material, tools, equipment and services for all preformed roofing as indicated, in accord with the requirements of the Metal Roofing Manufacturer. Provide all components required for a complete metal roofing system to include panels, panel clips, trim/flashing, fascias, ridge, closures, sealants, fillers and any other required items.

The roofing system shall be designed by the Manufacturer as a complete system. and connections not indicated on the drawings shall be the responsibility of the Contractor. All components of the system shall be supplied or specified by the same

manufacturer.

Design load application shall be in accordance with the IBC 2015, amended by

Accessories and their fasteners shall be capable of resisting the specified design IBC wind uplift forces and shall allow for thermal movement of the roof panel system. Exposed fasteners shall not restrict free movement of the roof panel system resulting from thermal

Fasteners for structural connections shall provide both tensile and shear ultimate strengths of not less than 750 pounds per fastener. Fasteners for accessories shall be the manufacturer's standard. Exposed roof fasteners shall be sealed or have sealed washers on the exterior side of the covering to waterproof the fastener penetration. Washer material shall be compatible with the screw head; have a minimum diameter of 3/8-inch for structural connections; and gasket portion of fasteners or washers shall be neoprene or other equally durable elastomeric material.

Components shall be compatible with the roof panel furnished. Flashing, trim, metal closure strips, caps, gutters, downspouts, roof curbs, and similar metal components shall not be less than the minimum thickness required by the Manufacturer. Exposed metal components shall be finished to match the panels or trim, as furnished. Molded closure strips shall be closed-cell or solid-cell synthetic rubber or neoprene, or polyvinyl chloride pre-molded to match configuration of the covering and shall not absorb or retain water. Thermal spacer blocks and other thermal barriers at concealed clip fasteners shall be as recommended by the Manufacturer

The Contractor shall verify installed work of other trades that such work is complete to a point where the roofing system installation may commence.

Install the roofing system in accordance with manufacturer's instructions and approved installation drawings.

Install the roofing system so that it is weathertight and allows for thermal movements. Locate and space all exposed fasteners in accordance with the Manufacturer's recommendations. Use torque settings to obtain controlled uniform compression for a positive seal without rupturing the neoprene washer.

Protect work against damage until final acceptance. Replace or repair to the satisfaction of the architect (owner), any work that becomes damaged prior to final acceptance. Touch up minor scratches and abrasions per the Manufacturer's recommendations.

continuous ridge vent

Excavation: Bearing soil & type; Local conditions, minimum bearing requirements 2500 psf. drawings and as indicated herein. Excavate surface materials and dispose of off site, legally.

and to prevent ponding.

R-38 blown in insulation

slab pitches to drains

Insulation under garage slab:

and continuity of the building envelope.

displacement.

requirements for thermal, air, water, and fire resistance.

The complete foundation slab system shall include the following:

insulation, air barrier membrane, and other moisture protection work.

Contractor shall saw cut expansion joints into the finished slab.

Reinforced concrete slab on grade and foundation concrete by contractors.

ZURN Z886 Perma-trench

HDPE 6" drain System (4" throat)

see other details regarding drainage system

Cross - Section Thru Building

Provide formwork and concrete for cast-in-place concrete for the construction shown on the

Provide concrete reinforcement where shown on the drawings, as specified herein and as

Concrete: Unless otherwise directed use Portland Cement to achieve a weight of not more

than 110 pcf and an ultimate compressive strength of 3000 psi at 28 days. Calcium, if

NOTE: ICFs require concrete that meets the block manufacturers requirements. SEE

Foundations: Remove form ties and patch. Provide PVC sleeves in footings and walls for

Slab vapor barrier membrane: Use polyethylene sheet of the thickness shown on the

drawings. If thickness is not shown on the Drawings, use reinforced 8 mil thickness, similar

Curing: Prevent premature drying and excessive hot or cold temperatures. Protect against

Finished floor slab surfaces shall be plane surfaces as shown on Drawings. Where drains

excessive hot or cold temperatures. Apply spray-on curing compound on all flatwork to displacement.

required, shall not exceed 2%. Concrete mix shall be approved by the Owner in writing.

drawings, as specified herein and as needed for a complete and proper installation.

Welded wire fabric: Welded steel, No. 10, plain type in coiled rolls; plain finish.

Foundations/Concrete:

needed for a complete and proper installation.

Slump: Footings and slabs on grade: 3 inches.

plumbing, electrical and other utilities as required.

to Griffolyn type 85. Overlap seams a minimum of 6".

reduce possibility of spalling, if indicated on the Drawings.

All other concrete: 4 inches.

**CONCRETE FINISHES:** 

occur, slope floor evenly to drains.

OTHER NOTES.

Reinforcing Bars: Deformed billet steel bars, grade 60.

Steel wire: For tie wire use black annealed steel, 16 gage minimum.

Excavating, backfilling and grading to the lines, grades and elevations as specified on the Excavate subsoil required for building foundations, construction operations and other work In excavating for footings and foundations, take care not to disturb bottom of excavation. Fill and backfill materials: Provide soil materials free from organic matter and deleterious substances, containing no rocks or lumps over 3 inches in greatest dimension. Rough grading: Uniformly grade the areas to the lines and elevations on the site plan for rough grade or if no site plan is provided, as directed by the owner.

ridge blocking

pre-engineered trusses

see specification notes

pier beyond

centerline of building

4" pitch to drain

see Zurn requirements

Slab Foundations with FOAMULAR® NGX™ Extruded Polystyrene Insulation, or equal,

Furnish and install specified products that have been tested to meet specified performance

Extruded polystyrene continuous insulation capable of withstanding required compressive

Continuous vapor barrier membrane applied below the foundation insulation in a watertight

Coordinate installation reinforced concrete slab with installation of vapor barrier membrane,

and flexible manner, allowing for the relative movement of systems due to thermal and

moisture variations and capable of withstanding moisture pressure without damage or

Provide and install reinforced foundation slab with extruded polystyrene (XPS) board

insulation and vapor barrier membrane, that effectively controls thermal, air, and water

performance, resists compressive and seismic loads, and provides continuous insulation

Reinforced foundation slab applied over extruded polystyrene insulation and vapor barrier

sound, water and air tight foundation allowing for the relative movement of systems due to

membrane over drainage aggregate and leveling fill by contractors creating a structurally

thermal and moisture variations and capable of withstanding positive and negative

combined dead and live load pressures on the building envelope without damage or

depth varies

see plar

see notes & detail

regarding reinforcing mat

15/32 in. x 4 ft. x 8 ft 3-Ply RTD Sheathing If no elevations are provided, grade the area to provide drainage away from the structures Provide finish grading in consultation and approved by the owner.

metal drip edge perforated soffit for corrugated metal finish ventilation over 5/8" fire code gypsum wall board poly trim (2) additional #5s at top block

full coverage ice & water barrier on

pre-engineered roof trusses @ 16" oc TRUSSES TO ALLOW FOR INSULATION

2'-0"

top plate (2) PT 2x12s

insulation baffles

indicates block & block structure

indicates 2.5" rigid insulation

both sides of block unit

1/2" asphalt impregnated felt typical at perimeter

#5s continuous

footings

every 4' horizontal

lapped and tied to the

footing vertical reinforcing

tie to vertical reinforcing

bend hook as shown under

continuous horiz, reinforcing

cast-in-place reinforced concrete

#5s in footing @ 48" oc horiz.

grade @ doors

typical grade

vertical reinforcing TYPICAL

floor level

w/ sealant entire building

metal siding finish surface

overlap joints min 2'q

roof sheathing on

Simpson Strong-Tie 2-in x 2-in x 6-in 12-Gauge Galvanized Steel Angle Hurricane tie @ every truss

5/8"x12" anchorbolts every

roof sheathi

#5s continuous

vertical reinforcing TYPICAI every 4' horizontall lapped and tied to the footing reinforcement

5'-0"

6" reinforced floor in garage

2" rigid insulation -

4" reinforced floor in office area

Min. 10" compacted granular gravel

NOTE: elevation of the bottom

existing grade.

installed on stable ground

indicates concrete fill

see ICF requirements

all footings must be

constructed on undisturbed

on undisturbed ground

ground or ledge or concrete fill

of the footings varies based on (3) #5s typ continuous

#5s @ 4' oc tied to

in footing

Typical Enlarged Section

(3) #5s & vertical block

typical ICS block units 8'

(2) #5s typ every

ventilation @ insulation baffle

continuous perforated soffit

R-22.35 calculated wall insulative

1/2" gyp board finish

(2) #4s typ every

2'-6"

32" vertically

19.21

Concrete for ICF block:

ICFs should be poured at a 5.5"-6" slump. An ICF wall should be pumped using a 5' hose with a reducer to 3'.

When ordering concrete make sure to notify the redi-mix company that it is for an ICF project. mix 3000 PSI or stronger concrete mix

**DETAILS** 

SECTION

22307

- | 0 | 0 | 4 | 0 | 0 | */* 

& ASSOCIATES 25 GUY MANNERS R MASSACHUSETT VOICE: 413.625.2584

Full Service Architectural Firm Serving NEW HAMPSHIRE MAINE

The strength of the concrete should be a minimum of

AUTHORIZED USE OF THIS DOCUMENT

This Document is authorized for use for construction

only if it bears the Architect's Seal with his/her signature

transposed upon it.

OWNER OR CONTRACTOR SHALL FIELD & PLAN VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN

AND CONDITIONS SHOWN

DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION OR
WORK/STUDIES OF THE BUILDING. THESE DRAWINGS ARE ONLY FOR THE
EXCLUSIVE USE OF THE ARCHITECT AS PART OF THE ARCHITECT'S
SERVICES.

ALL DRAWINGS ARE SCHEMATIC.

EXISTING BUILDINGS

EXISTING SITES

INHERENT HIDDEN CONDITIONS. THESE CUMULATIVE INACCURACIES WILL IFFECT OTHER DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWING

**BUILDING INSULATION:** 

22.35

outside air filn

1/2" gyp bd

Total:

inside air film

outside air film

metal roofind

roof sheathing

inside air spac cellulose insulation

5/8" gyp bd

inside air film

Total:

Floor:

metal inside surface

Concrete slab - 1.1/in = 6.6

2" rigid foam - 2500 lb 12

D COMMENSURATE WITH THE INEVITABLE INACCURACIES OF RECORDIN

BuildBlock recommends the use of a 3/8' chip or rock

Comply w/ manufactureres requirements For all ICF details and engineering refer to: BUILDBLOCK FLAT WALL ENGINEERING MANUAL

section through office area construction varies thickness of slab is 4"

**SCALE** 

